

This is an artistic representation of the design. It is not intended to be an exact rendition.

PAHK

PROJECT

Caroline and Joon
Pahk

93 Raymond Ave
Somerville, MA
02144

CONTRACT PLANS

APPROVED BY:

APPROVED BY:

DATE
: 2/7/2018

REVISION DATE:

PRINTED ON:
5/31/2018

COVER PAGE

SCALE:

DRAWING #

DRAWN BY:

R.A.
N.S.
N.H.

A
1

PROJECT:
PAHK RESIDENCE

REVISION DATE:

LOCATION:
93 Raymond Ave
Somerville, MA
02144


PREPARED BY:
Francis Harvey Remodeling, LLC
697 Hartford Turnpike
Shrewsbury, MA. 01545

DATE:
2/7/2018

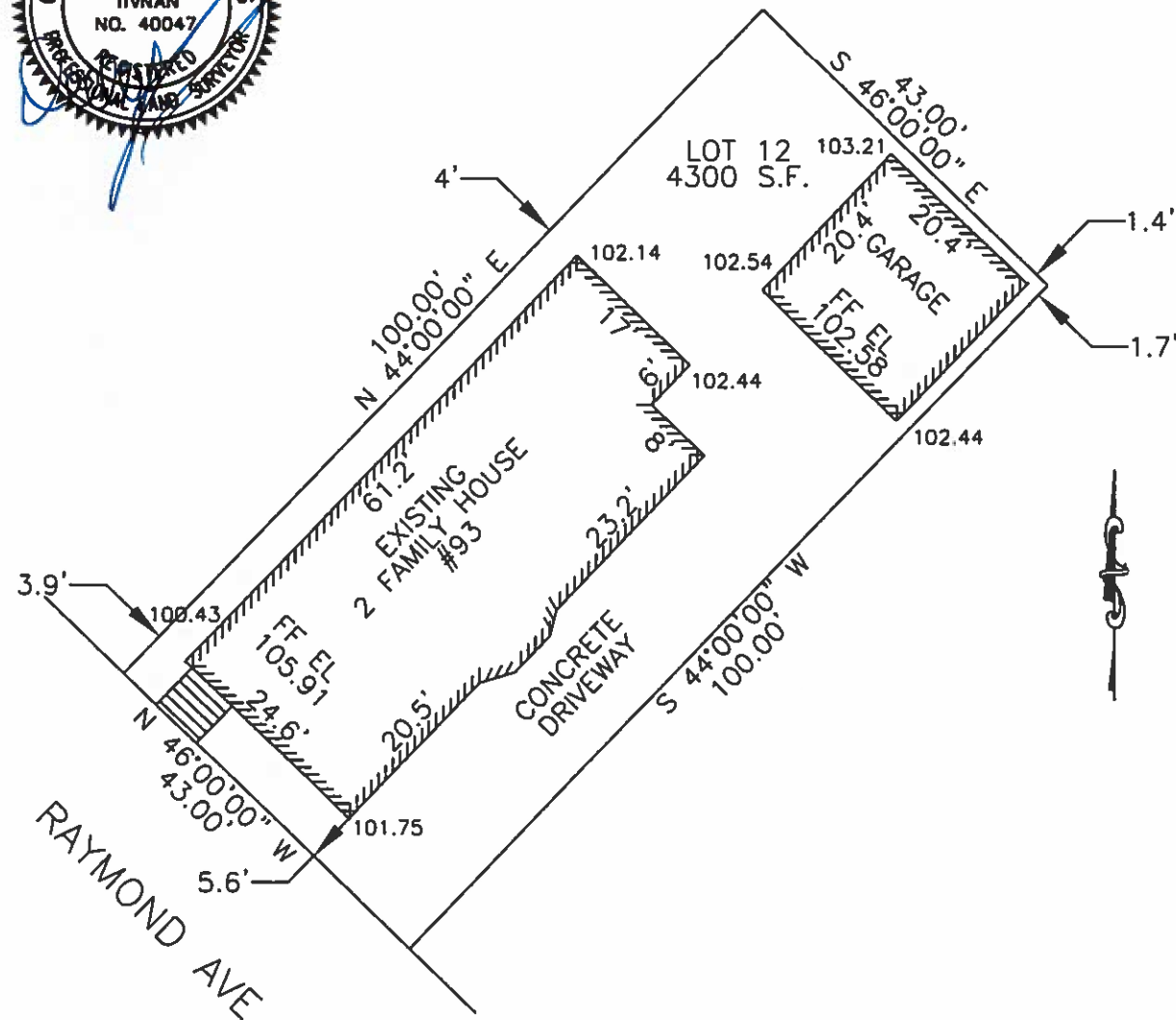
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A	19	PRODUCT AWARENESS

PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS
75 HAMMOND STREET - 2ND FLOOR
WORCESTER, MASSACHUSETTS 01610-1723
 PHONE: 508-757-4944 EMAIL: INFO@HSTGROUP.NET
 FAX: 508-752-8895 WWW.HSTGROUP.NET

PROJECT: 93 RAYMOND AVE	
SOMERVILLE MA	
OWNER: CAROLINE PAHK	
DATE: 02-02-18	DEED: 53082-289
ZONE: RA	PLAN: 160-50
SCALE: 1"=20'	MBL: 7-1-56-2
COMP'D: DJT	FLD. BK: 650-92
CAD: DJT	JOB #: 6401
FILE: RAYMOND93PL	



COMMONWEALTH OF MASSACHUSETTS
DANIEL J. TIVNAN
NO. 40047
REGISTERED
FBI - BOSTON



ALLOWABLE FAR: .75

MAX HEIGHT:	135.69
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AVERAGE GRADE
ELEV: 101.69

РАНК

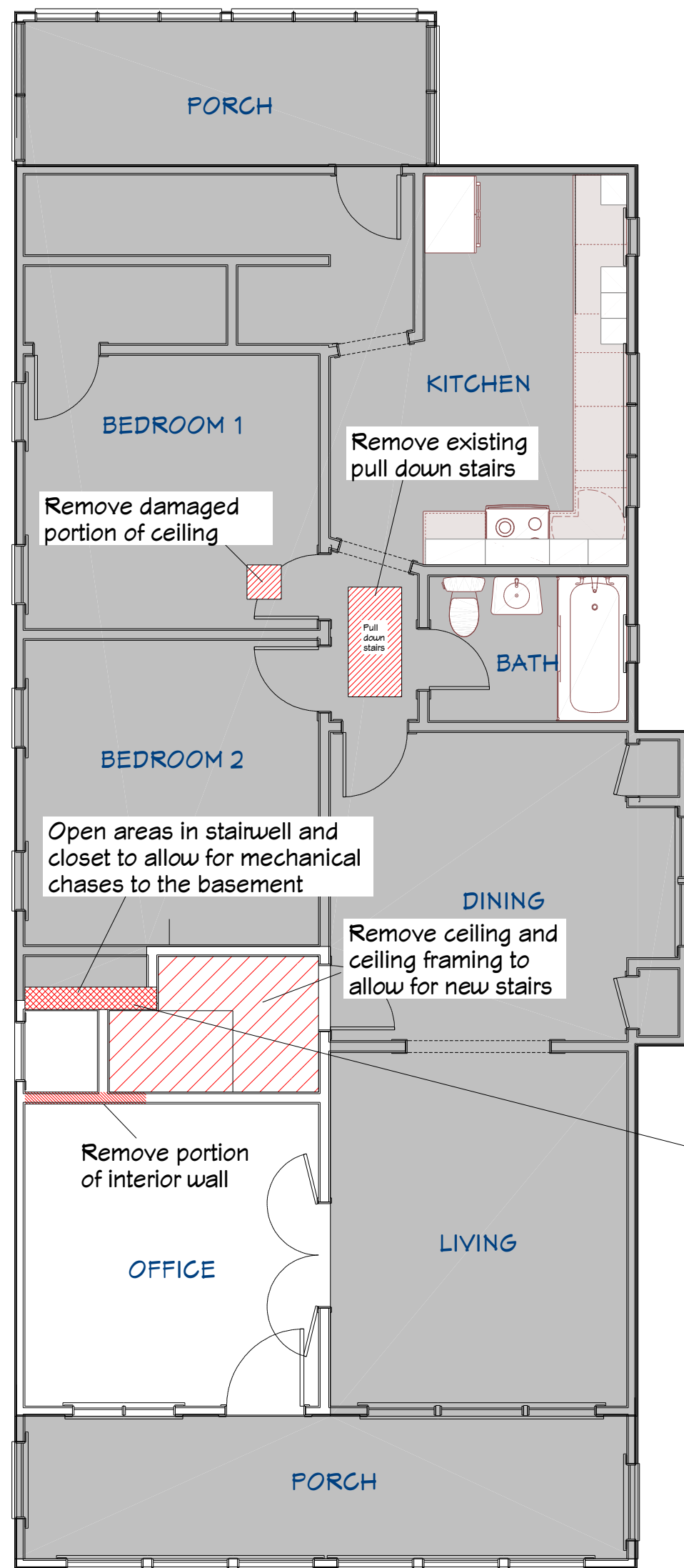
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NOTE: Damage may occur to adjacent areas during demolition and construction. Repairs of any of these areas are not covered in this agreement and will be addressed as Additional Work Orders.

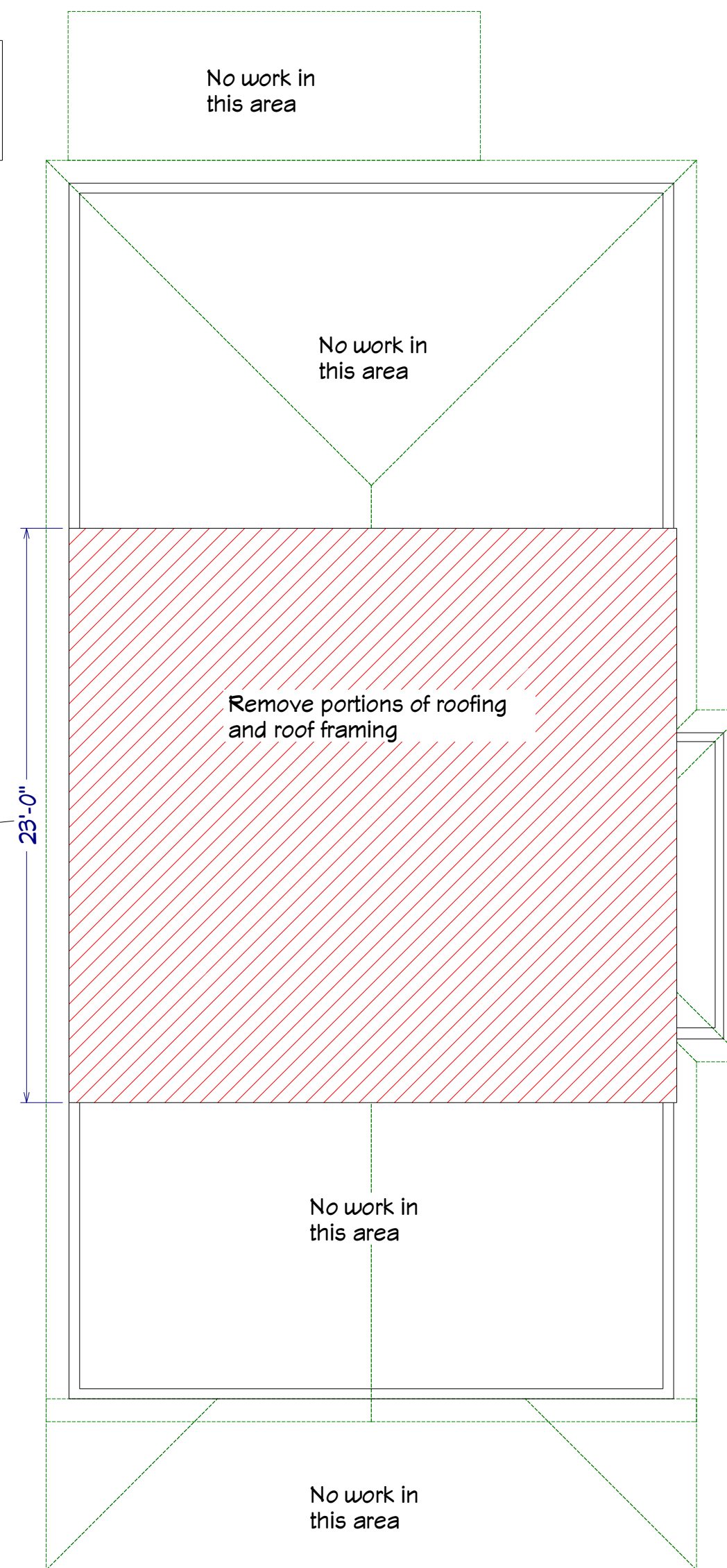
DEMOLITION

- NOTE: No work in areas shaded gray unless otherwise noted. Temporarily support the existing roof frame in areas affected by demolition.
- 1) Remove portions of roofing materials, roof rafters, and roof sheathing per plans and elevations. (Marked as red hatched)
 - 2) Remove portions of interior partitions in office to allow for new stairs. (Marked as red hatched).
 - 3) Remove portions of ceiling and ceiling framing to allow for new staircase.
 - 4) Remove existing attic pull down stairs.
 - 5) Remove portions of insulation to allow for new framing and new electrical.
 - 6) Rework existing electrical in areas affected by demolition.
- NOTE: electrical lines will be terminated in a junction box.

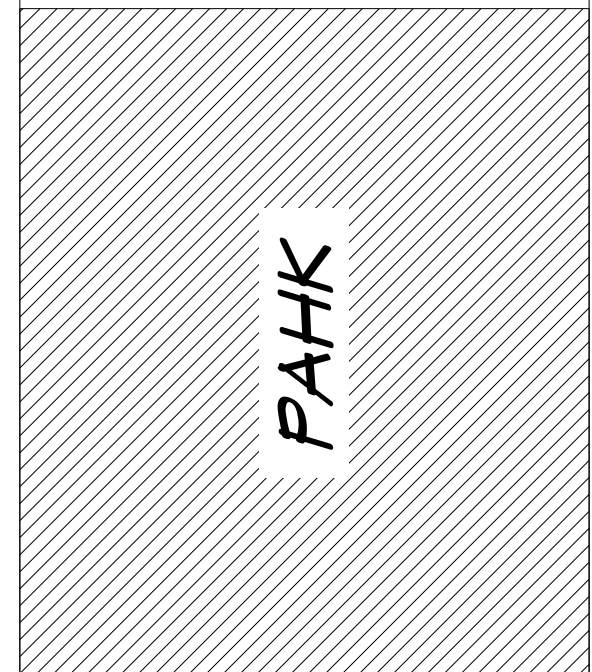
NOTE: It is assumed that the mechanicals can be brought to the basement without interruption of the first floor. In the event that is not possible, an additional work will be presented to the client.



EXISTING SECOND FLOOR
3/16" = 1'



EXISTING ROOF PLAN
3/16" = 1'



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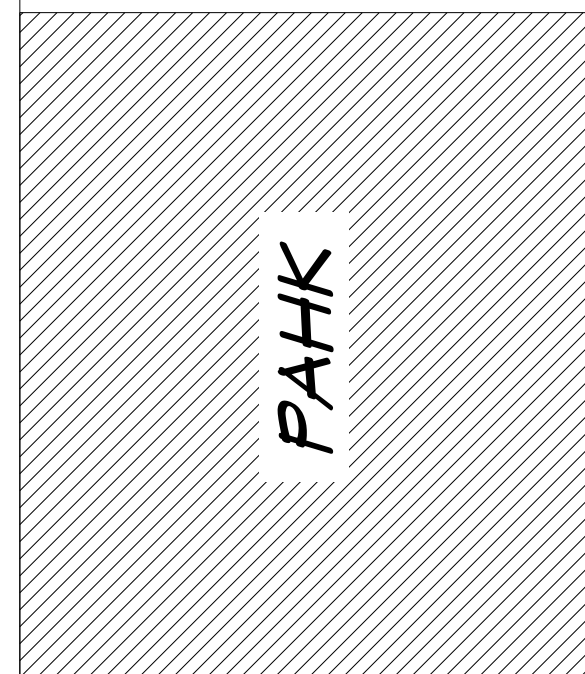
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DEMOLITION PLAN

SCALE:
AS NOTED

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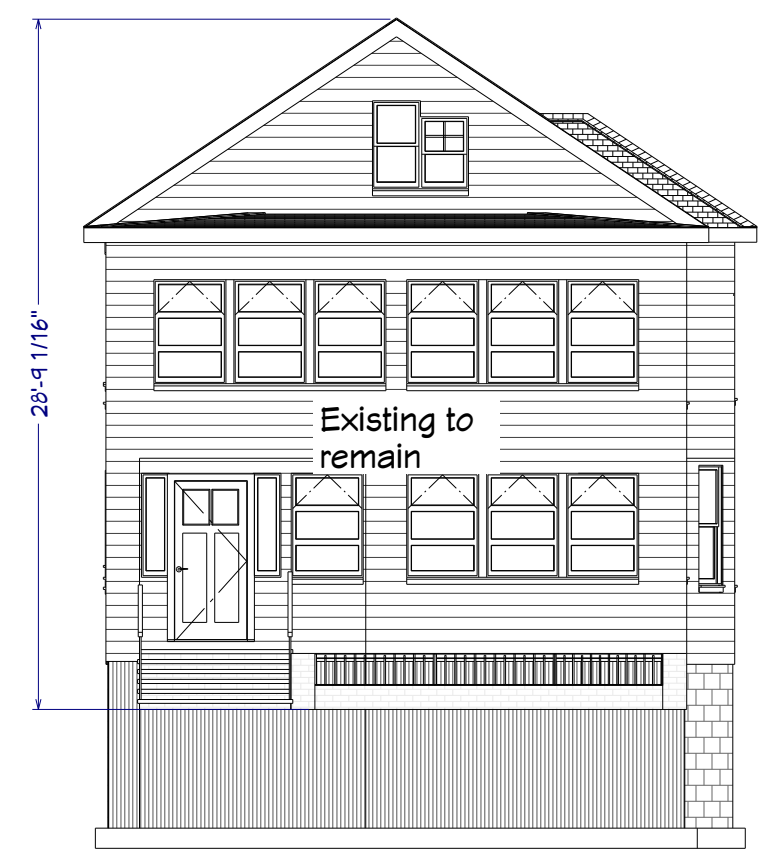
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**EXISTING EXTERIOR
ELEVATIONS**

SCALE:
AS NOTED

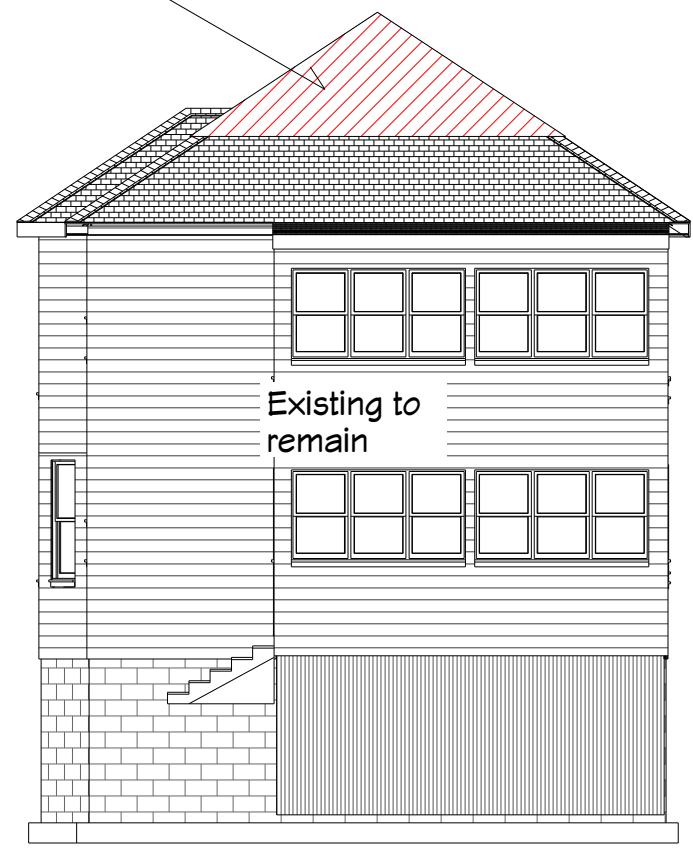
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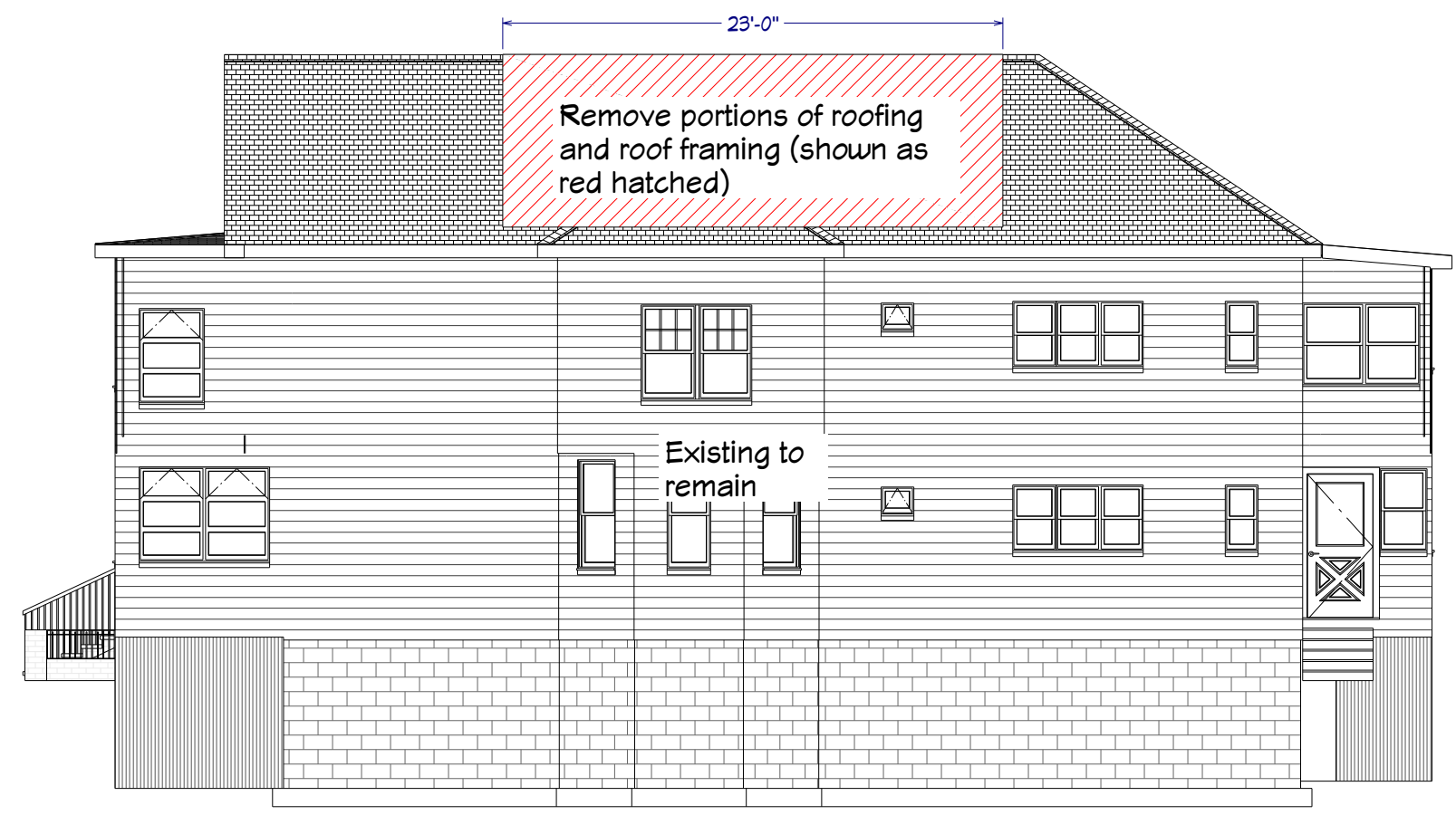


EXISTING FRONT ELEVATION
1/8" = 1'

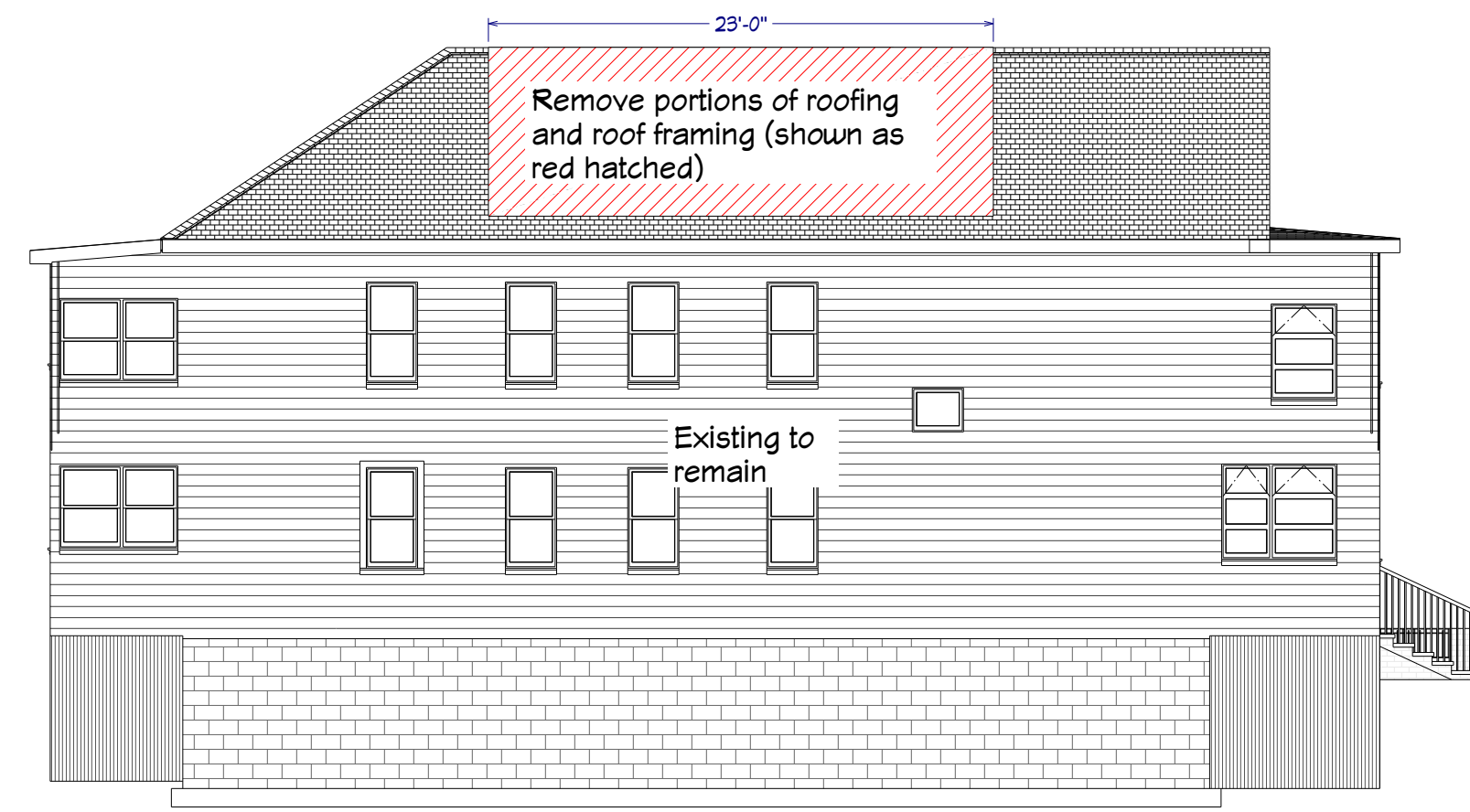
Remove portions of roofing
to allow for new over-frame



EXISTING REAR ELEVATION
1/8" = 1'



EXISTING RIGHT ELEVATION
1/8" = 1'



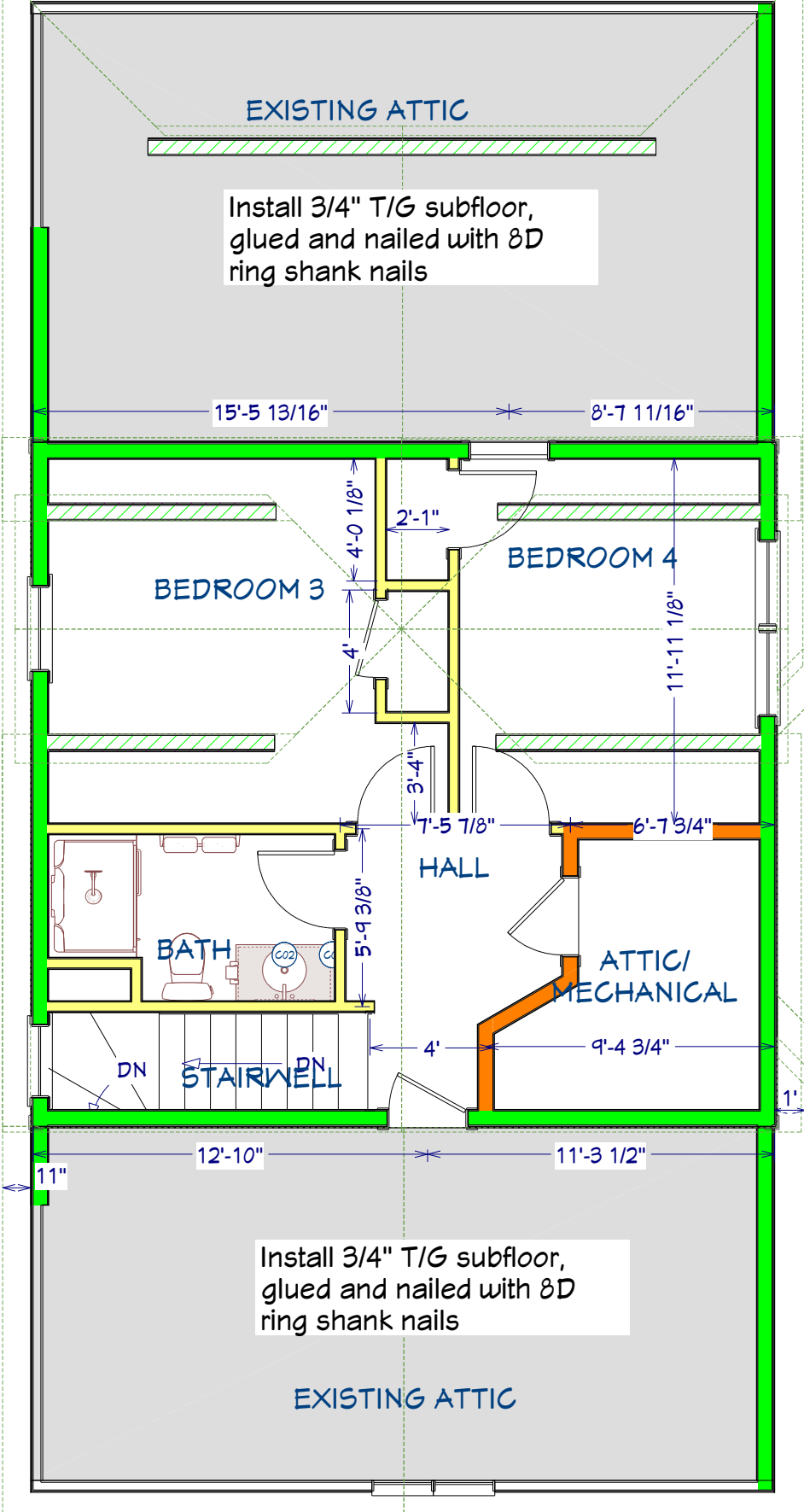
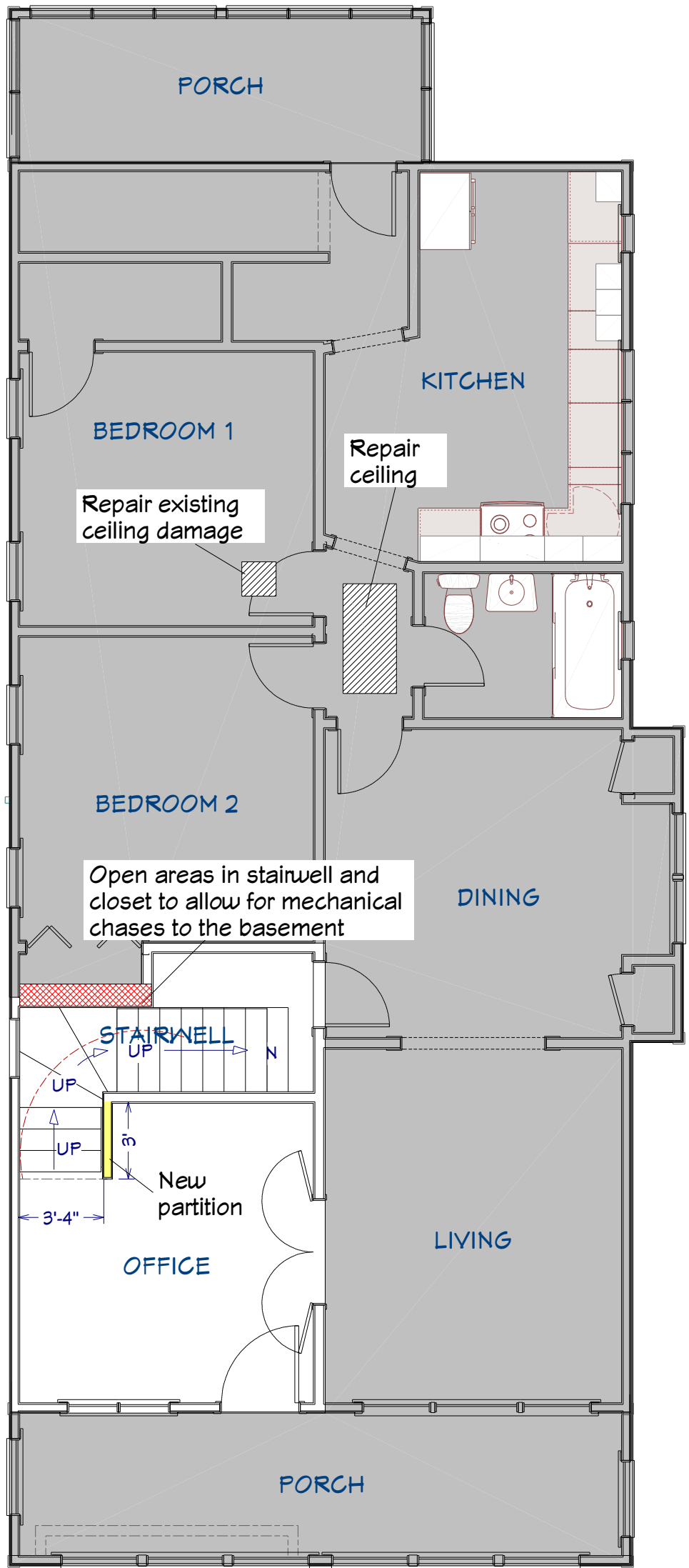
EXISTING LEFT ELEVATION
1/8" = 1'

CONSTRUCTION SCOPE

- NOTE: No work in areas shaded gray unless otherwise noted.
- 1) Frame floor joists over existing ceiling joists per Framing plan and detail.
 - 2) Install 3/4" T/G subfloor, glued and nailed with 8D ring shank nails in new spaces and in existing attic spaces.
 - 3) Frame exterior walls with 2 X 6 wall construction, 1/2" sheathing, and Tyvek house wrap.
 - 4) Frame roof per Roof Framing plan.
 - 5) Install roof sheathing per framing plan.
 - 6) Frame interior partitions per plans and wall types.
 - 7) Frame new stairs from second floor to third floor per plans.
 - 8) Frame in ceiling in area of old attic stairs.
 - 9) Install new windows per plans and window schedule.
 - 10) Install vinyl siding per plans and elevations. (Installed on new walls only)
 - 11) Install EPDM roofing per plans and elevations. (Installed on new roof areas only)
 - 12) Install electrical per plans and schedule.
 - 13) Install new bath fan vent in new bath, vent to exterior.
 - 14) Install plumbing feeds and drains to new bath fixtures. Tie into feeds and drains of the existing second floor unit.
 - 15) Install new plumbing vents for new fixtures.
 - 16) Install HVAC heat and air conditioning per HVAC plan and specifications page A-10
 - 17) Insulate new walls with R-21 fiberglass batt insulation.
 - 18) Insulate new ceiling with R-49 cellulose blown-in insulation.
 - 19) Install 1/2" blue board and skim coat plaster to walls and ceilings. Walls will have a smooth finish. Ceilings and closet interiors will have a light textured finish.
 - 20) Repair areas of existing ceilings per plans. NOTE: Repaired areas will be blended into existing textures and may not be an exact match.
 - 21) Repair areas of stairwell opened for mechanical chases to basement. NOTE: Repaired areas will be blended into existing textures and may not be an exact match.
 - 22) Install treads, risers, skirts, and railing per Stair Detail page A-11
 - 23) Install bathroom cabinets per plans and cabinet schedule.
 - 24) Install counters per finish schedule.
 - 25) Install bath fixtures per plans and finish schedule.
 - 26) Install doors per plans and schedule.
 - 27) Install primed 1 X 6 window and door header trim with Brosco B100 vertical trim to be similar to photo on A-9.
 - 28) Install primed Brosco baseboard moulding B400 FJP.
 - 29) Install one melamine closet shelf and one pole in new bedroom closets.
 - 30) Install 2 1/4" oak plank flooring, sand and finish with three coats of oil finish.
 - 31) Paint new walls with one primer coat and two finish coats.
 - 32) Paint new ceilings with one primer coat and one finish coat.
 - 33) Paint pre-primed trim two finish coats.
 - 34) Paint doors with two finish coats.

EXISTING SECOND FLOOR PAINTING SCOPE

- 1) Paint ceiling with one primer coat and one finish coat in Bedroom 1, Hall, Stairwell, and Office.
- 2) Paint walls in Office and Stairwell (new and existing) with two finish coats, newly plastered areas will be primed with one coat.
- 3) Paint Office and new Stairwell trim with two finish coats.



WALL TYPE LEGEND

- NEW 2 X 6 EXTERIOR WALL
- NEW 2 X 6 INTERIOR WALL
- NEW 2 X 4 INTERIOR WALL
- EXISTING WALLS



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PROPOSED SECOND AND THIRD FLOOR PLANS

SCALE:
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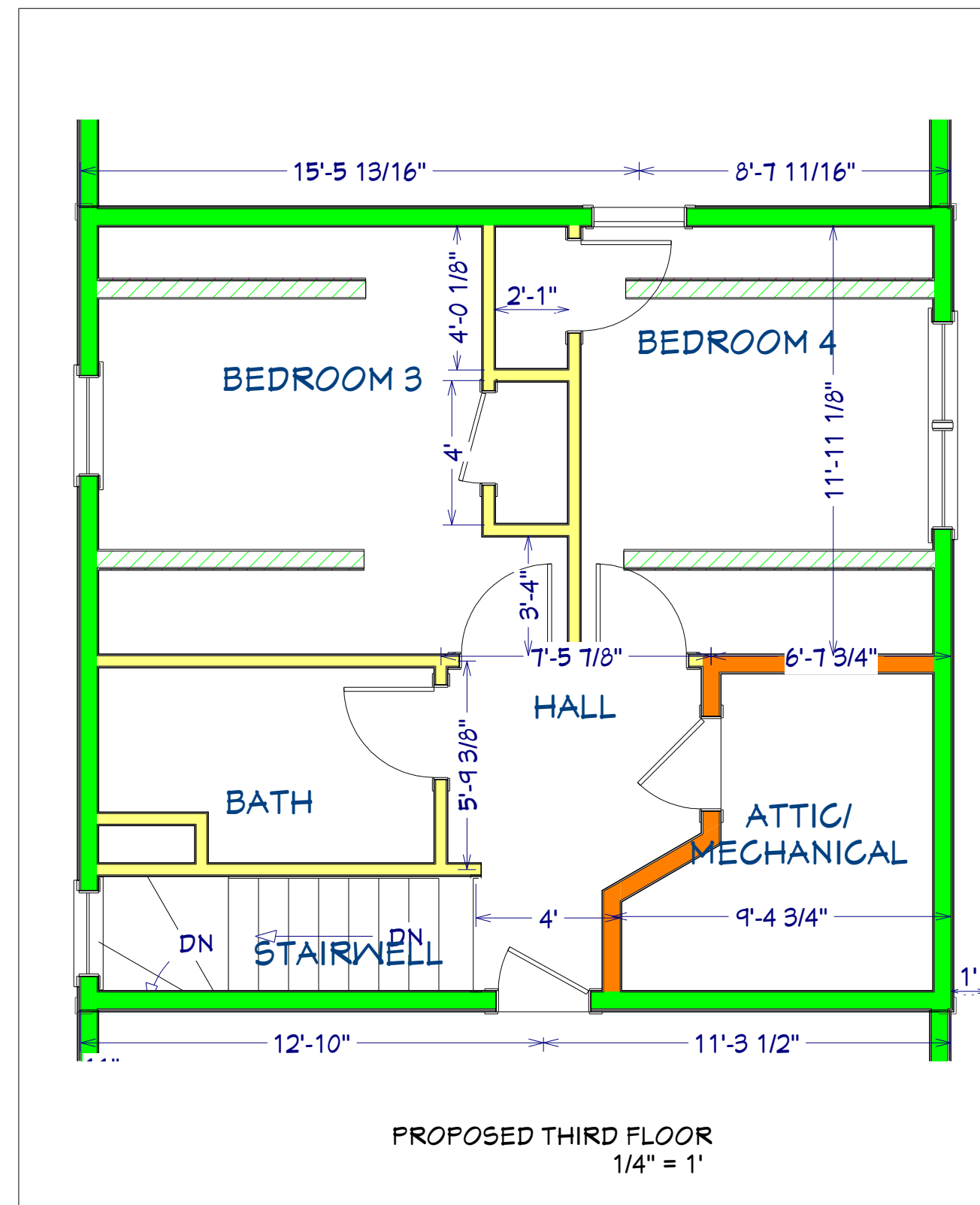
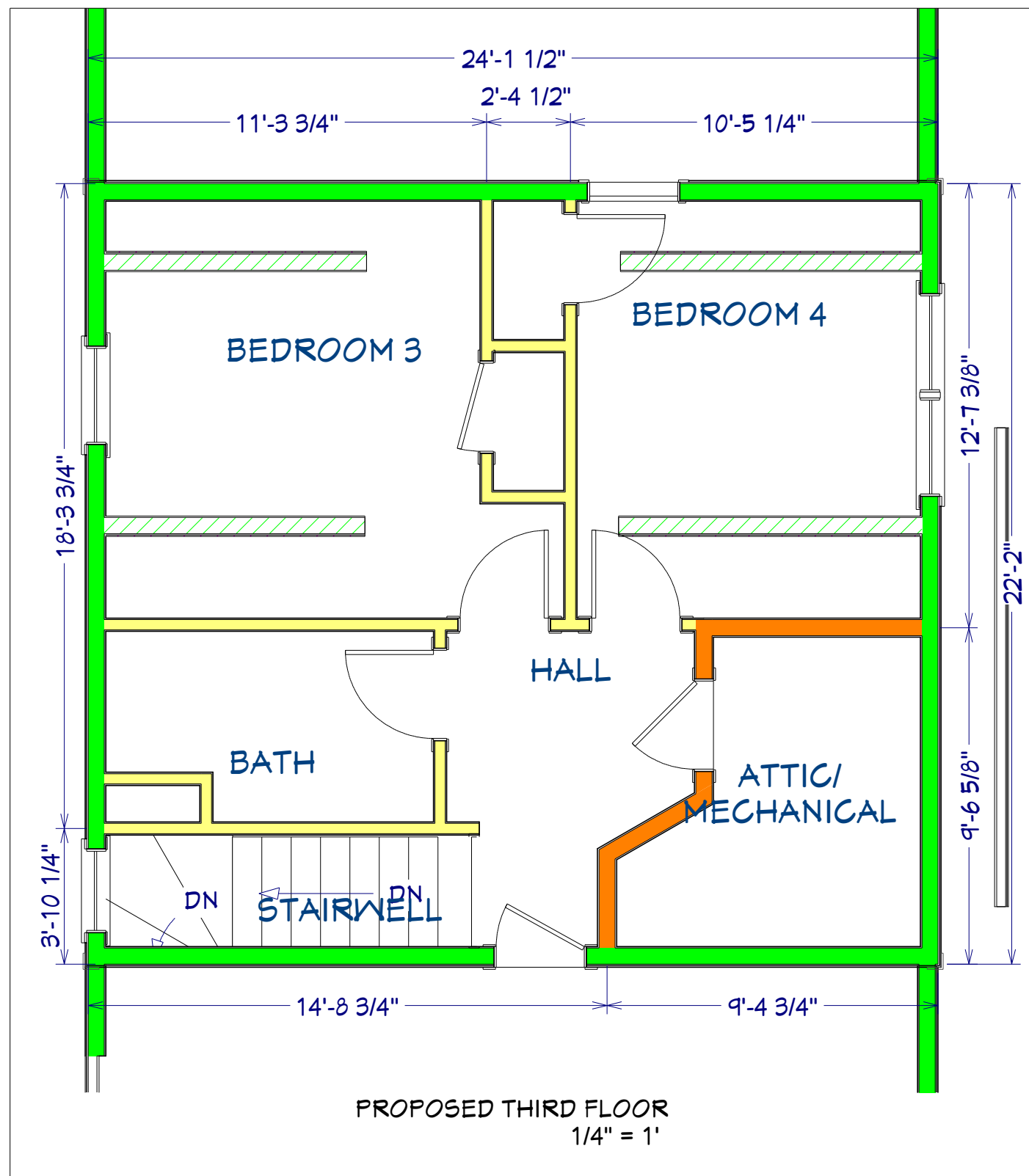
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PROPOSED THIRD FLOOR PLAN

SCALE:
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N.H.

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WALL TYPE LEGEND

- NEW 2 X 6 EXTERIOR WALL
- NEW 2 X 6 INTERIOR WALL
- NEW 2 X 4 INTERIOR WALL
- EXISTING WALLS

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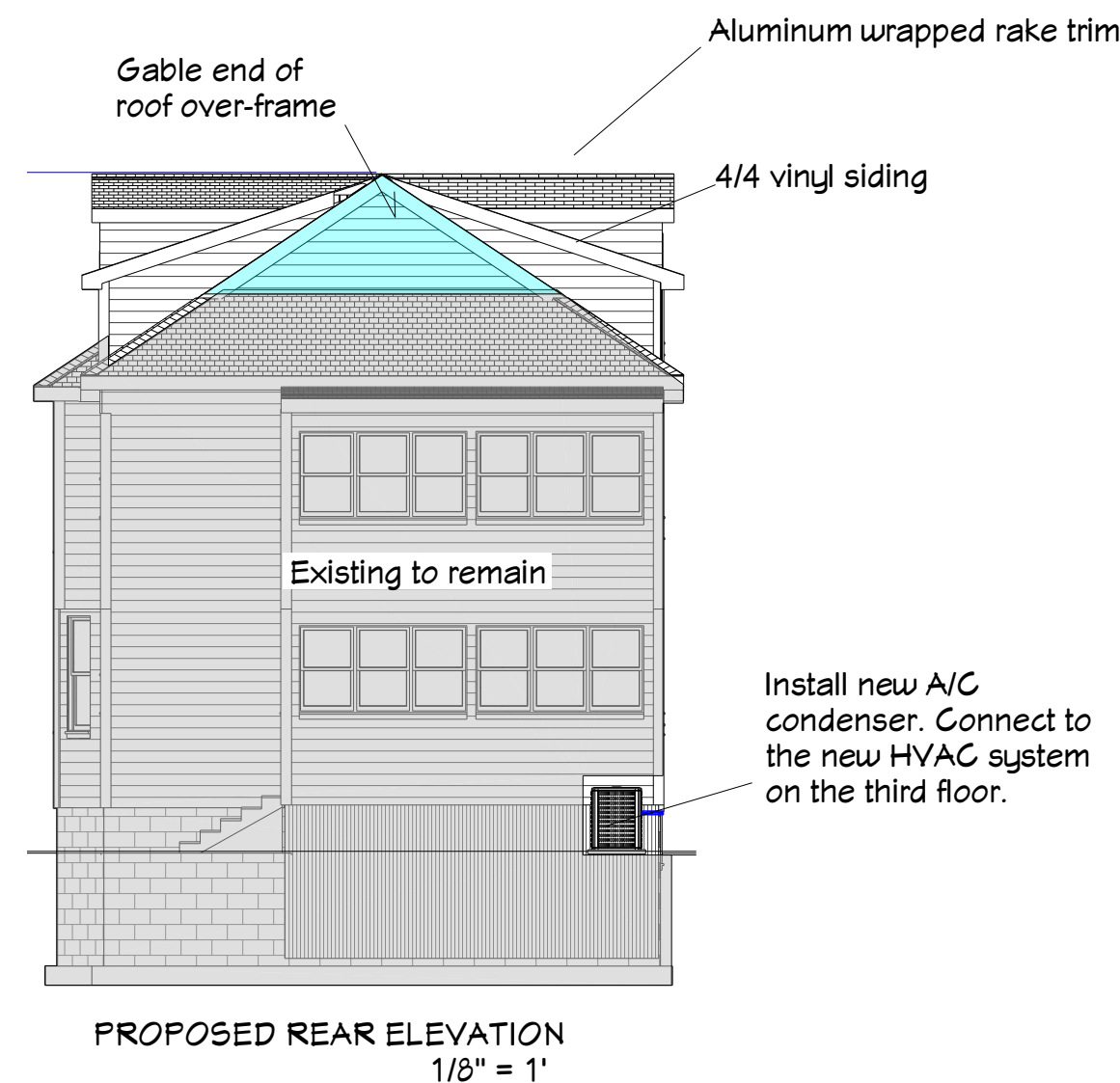
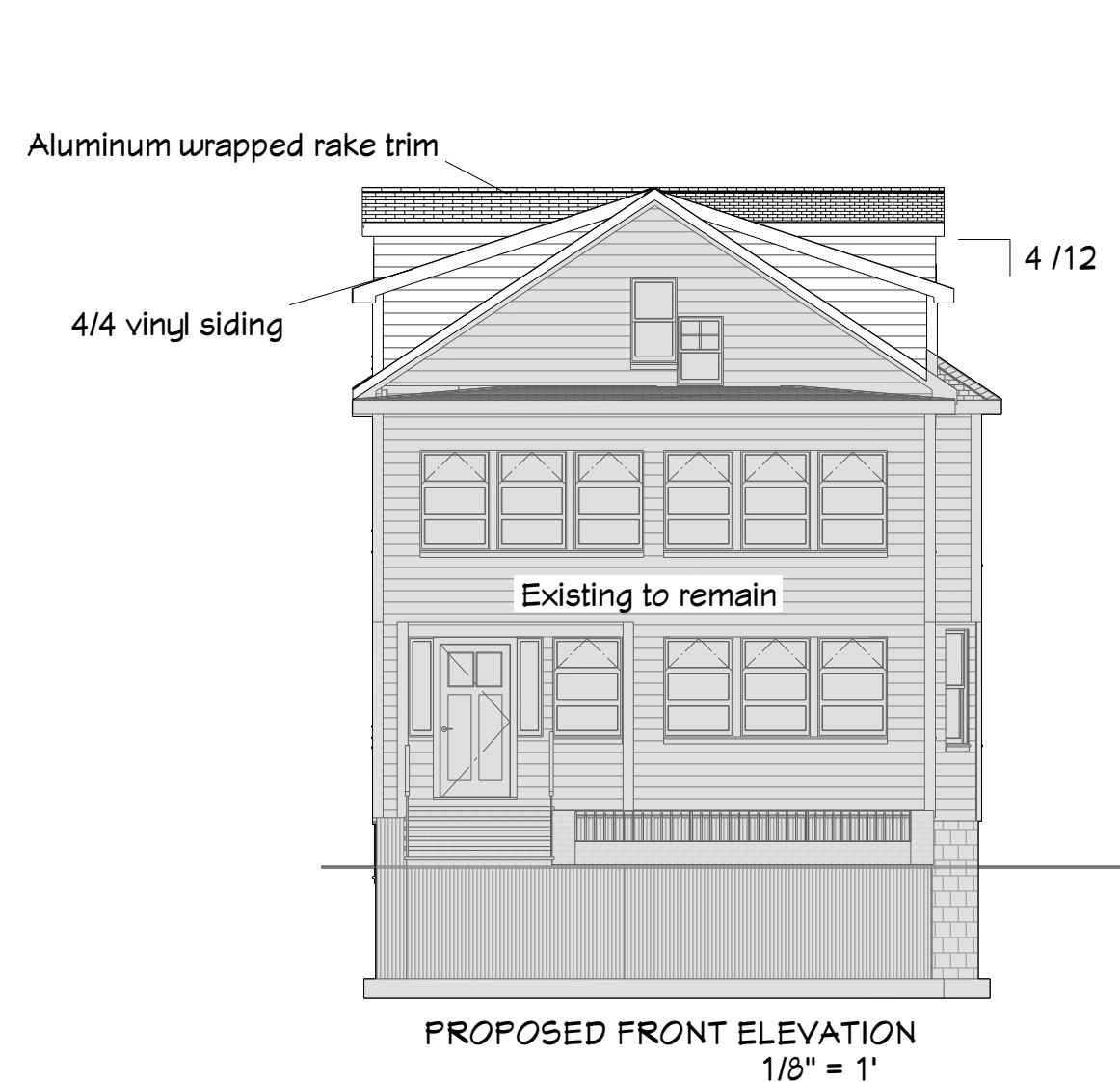
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PROPOSED EXTERIOR ELEVATIONS

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VINYL SIDING (New framing only)

- 1) Install house wrap over wall sheathing with taped seams. Wrap into window openings and tape over window flanges.
- 2) Install 3 1/3" vinyl outside corners, color to be "Autumn Yellow" or approved equal.
- 3) Install double 4" Certainteed Mainstreet vinyl siding, Color to be "Autumn Yellow" or approved equal.
- 4) Install vented T-4 vented vinyl soffit panels.
- 5) Wrap fascias and rakes with aluminum coil.

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